

HARPOLE PARISH COUNCIL



Chairman – Mr F Smethers

Clerk – S Willis

<http://www.harpole-pc.gov.uk>

E-mail: clerk@harpole-pc.gov.uk

Members of the committee (Cllrs Smethers, Roberts, Gardner, Hancy, Madle, Starmer, Wallace) are summoned to attend a Meeting of the Strategy, Finance and Policy Committee to be held at the Methodist Chapel, School Lane Harpole on **Monday 2nd June 2025 at 7.00 pm** for the purpose of transacting the following business.

Signed: *S Willis*

Clerk & Proper Officer to Harpole Parish Council

Date: 27th May 2025

Members of the press and public are welcome to attend.

AGENDA

- 39/25 TO ELECT CHAIRMAN FOR 2025/26**
- 40/25 TO ELECT VICE CHAIRMAN FOR 2025/26**
- 41/25 APOLOGIES FOR ABSENCE**
To receive apologies and approve reasons for absence.
- 42/25 DECLARATIONS OF INTEREST IN ITEMS ON THE AGENDA**
To receive Declarations of Interest from Councillors
- 43/25 PUBLIC PARTICIPATION**
Members of the public are invited to address the Committee.
- 44/25 MINUTES**
To receive and approve the minutes of the Strategy, Finance and Policy Committee 7th April 2025
- 45/25 CO-OPTION OF NON-COUNCILLOR MEMBER**
To consider and approve membership of non-councillor, non-voting members
- 46/25 PLANNING**
To consider and approve response to planning application [2025/1914/FULL](#) – Demolition of delapidated garage. Siting of a new modular building to provide additional classroom space at the rear of the existing Harpole Day Nursery – Day Nursery, 47 Carrs Way
- 47/25 NORTHAMPTON WEST SUSTAINABLE EXTENSION**
 - a) To receive updates for information only
- 48/25 NORWOOD FARM SUSTAINABLE EXTENSION**
 - a) To consider and approve lighting scheme for phases 1 and 2b
 - b) To receive updates for information only
- 49/25 DEVELOPMENT RELATED ROADWORKS**
 - a) To receive updates on Sandy Lane Relief Road
 - b) To receive other updates
- 50/25 SPORTS PROVISION**
 - a) To receive updates from Vistry for new Pavilion
 - b) To consider and approve valuation survey of playing fields
 - c) To consider and approve community membership to ACRE to help with advice for transfer
 - d) To receive updates for information only
- 51/25 CIL**
 - a) To consider listing and any projects to investigate further

52/25 COMMUNICATIONS

- a) To consider a councillor surgery

53/25 COUNCIL DIRECTION

To consider and approve 1 year and 4 year plans for Council

54/25 CONTRACTS

- a) To consider new contract for office electric following the news that Tomato are not taking on new customers

55/25 FINANCE

- a) To consider and approve payments for May and June 2025
(see appendix attached)
- b) To consider and approve purchase of Defib Battery for Defib on Magnus Shoes and to consider if the council will take this cost on ongoing.

56/25 GRANTS

To consider and approve grant to Old School House for Flood defenses

57/25 CORRESPONDENCE

To consider correspondence from residents for discussion at future meetings

- a) Is the Parish Council interested in documents from the Heritage Society and what could we do with them

58/25 ITEMS FOR NEXT AGENDA

To consider items to be added to the next agenda

DATE OF NEXT MEETING. - The next meeting is scheduled for Monday 1st September 2025.



Chairman – Mr F Smethers

Clerk – Mrs S Willis

www.harpole-pc.gov.uk

E-mail: clerk@harpole-pc.gov.uk

Minutes of the Strategy, Finance and Policy Committee meeting held on 2nd June 2025, in the Methodist Chapel, School Lane at 7.00pm.

Present – Cllrs S Roberts (Chair), K Gardner, B Hancy, G Madle, F Smethers, D Starmer,
Also present – S Willis (Clerk), Cllr M Callaghan, Paul Thomas (Clerk to Harlestone PC and Harlestone Manor PC), Caroline Holgate (Cllr at Harlestone Manor PC) and Clement Nnadozie

Meeting Start: 7pm

39/25 TO ELECT CHAIRMAN FOR 2025/26

Cllrs Smethers and Roberts both received nominations. It was resolved that Cllr Roberts take the chair.

40/25 TO ELECT VICE CHAIRMAN FOR 2025/26

It was resolved that Cllr Smethers is Vice Chairman.

41/25 APOLOGIES FOR ABSENCE.

Apologies received and accepted from Cllr Wallace.

42/25 DECLARATIONS OF INTEREST IN ITEMS ON THE AGENDA.

Cllrs Smethers and Starmer declared an interest as trustees of the playing field.

Cllr Smethers is on the payments list.

Cllr Hancy's daughter is Deputy manager at nursery for planning application in 46/25.

43/25 PUBLIC PARTICIPATION

No comments from the public.

44/25 MINUTES

Councillors **APPROVED** the minutes of the Strategy, Finance and Policy Committee of 7th April 2025.

45/25 CO-OPTION OF NON-COUNCILLOR MEMBER

Clement Nnadozie had expressed an interest in joining the committee as an advisory member. It was resolved that he join as a non councillor, non voting member.

46/25 PLANNING

Planning application 2025/1914/FULL – Demolition of dilapidated garage. Siting of a new modular building to provide additional classroom space at the rear of Harpole Day Nursery, 47 Carrs Way was considered. There were no objections to the application but there was concern that increased capacity would increase parking issues which are already considered an issue at drop off and pick up times.

47/25 NORTHAMPTON WEST SUSTAINABLE EXTENSION

Next meeting with Bloor likely to be in July with a site visit. Many Harpole Councillors would like to attend but later in the day to make it easier for those that work. If this cannot be with main contact maybe this can be with someone else.

Plans for open space will be forwarded soon.

It was noted that travellers had accessed the site but the Police were quick to move on and Bloors have added a fence to prevent in future.

North Relief Road should be open June.

Barwoods proposal may go to committee in autumn. There is lots of reaction to comments made at first consultation.

48/25 NORWOOD FARM SUSTAINABLE EXTENSION

a) Lighting scheme for phases 1 and 2b were considered. It was thought that the scheme looked OK and would be adopted. Clerk to check specification matches current lights in Harpole and that they can be dimmed in early hours.

b) Vistry's third phase was approved at WNC planning committee last week.

49/25 DEVELOPMENT RELATED ROADWORKS

a) Sandy Lane is almost complete and safety checks have started. It is expected to be open mid June.

b) Davidsons have advised they will start work on the roundabout at the top of Road Hill. As this is largely offset works will be mostly within site without disruption to Nobottle Road until the autumn. Timings of this to be agreed with Highways.

S278 works for Sandy Lane now likely in September due to other highways works.

50/25 SPORTS PROVISION

a) Vistry had provided a specification of the proposed pavilion with technical details. An EGM is to be held to discuss council's options moving forward.

b) A valuation of the playing field is needed for the proposed transfer. It was proposed to accept the quotation of £2250 +VAT for a charity commission compliant survey.

c) Cllr Wallace recommended being a member of the Facilities scheme. This is part of due diligence to show to Charity commission. It was agreed to the years membership at £48.

d) No further updates.

51/25 CIL

List was reviewed and some amendments made. All councillors to give the items on the list a priority to help focus which projects to work on.

52/25 COMMUNICATIONS

It was proposed that the council hold councillor surgeries. Pros and cons were discussed.

There are various forms of communications that we use and these should be used better.

Councillors did not feel a surgery was needed.

It was agreed to have an introduction to the councillors in the next newsletter with

councillors providing a photo and short biography so that members of the public know who they are.

Caroline Holgate and Cllr Callaghan leave.

53/25 COUNCIL DIRECTION

1 year work plan and 4 year business plan had been tabled. Some amendments were made. Councillors were offered to give other amendments before the next meeting.

54/25 CONTRACTS

Electric contract for the office is due to expire in July. Council had previously agreed to move to Tomato, however they are not taking on new accounts. It is now proposed to stay with British Gas on a new 3 year contract. This was agreed.

55/25 FINANCE

a) To approve payments for May and June

Supplier	Activity	Amount	VAT
Unity Bank	Bank Fees	9.90	-
Paul Thomas	Parish Maintenance	528.07	-
R&G Groundworks	Grass Cutting	1,694.40	252.40
Nickolls Landscaping	Flagpole maintenance	100.00	-
Northants CALC	Subscription & Internal Audit	1,335.65	90.60
Shield Maintenance	Bin emptying	91.00	15.17
Scribe	Account set up	658.80	109.80
Old School Hall	Room hire	120.00	-
Benn Security	Allotment Keys	127.80	21.30
British Gas	Office Electric	68.43	3.26
Parish Online	Website hosting	396.00	77.00
Northants CALC	Training	117.60	19.60
Resident	Key deposit return	12.00	-
Gigaclear	Broadband	36.00	6.00
Scribe	Subscription	118.80	19.80
Tomato Energy	Street light electric	412.55	68.76
Staff Costs	May Costs	4,017.05	-
Metrobank	Credit card payment	310.98	-
ID mobile	Phone	6.00	1.00
Tomato Energy	Street light electric	7.90	0.38
R&G Groundworks	Grass Cutting	973.20	162.20
Rialtas	Subscription	30.49	5.08
Rialtas	Subscription	33.83	5.64
Viking	Stationery	30.43	5.07
Wave	Water	241.45	-
British Gas	Office Electric	68.43	3.73
Old School Hall	Room hire	80.00	-
Harpole Bowls Club	Room hire	50.00	-
Nickolls Landscaping	Flagpole maintenance	100.00	-
Frank Smethers	Microsoft subscription	286.56	-
zephyr	Flagpole and installation	1,583.94	263.99
Northants CALC	Training	60.00	10.00
All Saints Church	Scaffolding and Security	2,470.80	-
Paul Thomas	Parish Maintenance	483.82	-

Scribe	Subscription	118.80	19.80
Shield Maintenance	Bin emptying	91.00	15.17
Methodist Chapel	Room hire	67.50	-
Staff Costs June	June Costs	TBA	

Income

Supplier	Activity	Amount
West Northants Council	CIL	122,026.09
Various	Allotment rent	94.00
Metrobank	interest	1.42
CCLA	interest	3,276.84

Payments approved.

- b) Defibrillator on Magnus Shoes was initially donated to the village by the Old School Hall. The Parish Council had been asked to purchase a new battery. It was proposed to do this. It was also resolved that the council would take on ongoing costs of the defibrillator.

56/25 GRANTS

Old School Hall had applied for £3000 towards purchase of anti-flood barrier door protection & replacement of close board fencing to eastern boundary. It was resolved to grant the request.

57/25 CORRESPONDENCE

The son of the chair of the former History group had asked the council if they would be interested in taking paperwork collected over the years. It was agreed to take the information and discuss the potential of a parish museum.

58/25 ITEMS FOR THE NEXT AGENDA

None at this time.

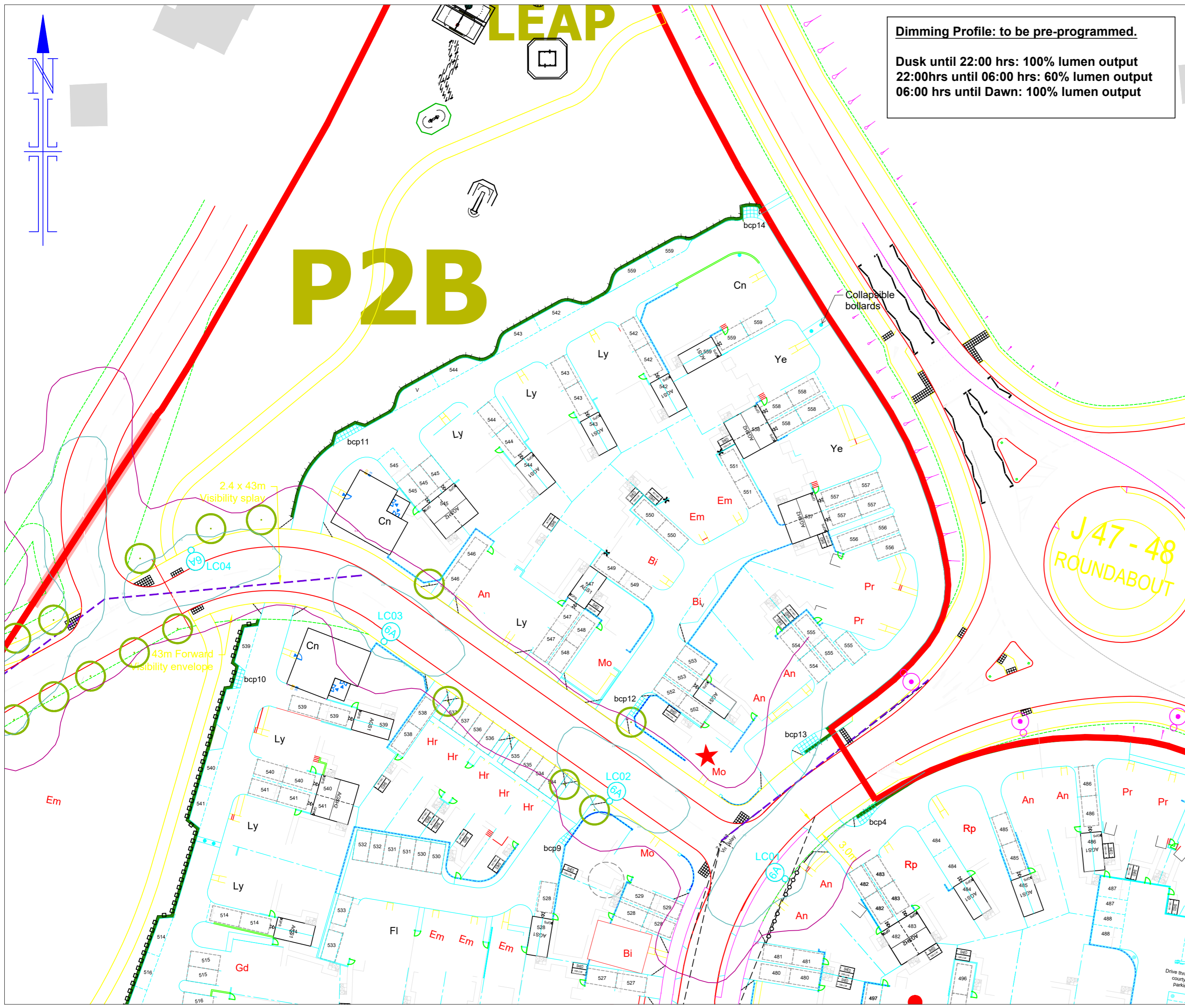
Meeting closed 9.05pm

DATE OF NEXT MEETING.

The next meeting is scheduled for Monday 1st September at 7pm

Signed

Date



Dimming Profile: to be pre-programmed.
Dusk until 22:00 hrs: 100% lumen output
22:00hrs until 06:00 hrs: 60% lumen output
06:00 hrs until Dawn: 100% lumen output

Notes:

- This lighting scheme is intended to be offered to Harpole Parish Council for adoption. All works and equipment to be in accordance with the Parish Council requirements.
- All columns to have DNO or IDNO electrical connection. This will require the use of the developer's own MPAN number to ensure allocation to the correct energy account to pay for the electricity used up to the time of formal adoption. The low voltage cable network may need to be extended. Columns to be sited as per description in schedule.
- Numbering system is indicative only. Final site numbering, if required, to be provided by the Parish Council at adoption stage at cost to the developer.
- The contractor must comply with CDM regulations.
- The designer has not been made aware of any environmental issues on site that may affect the street lighting installation.
- Contractors disposal must comply with WEEE directive and COSHH regulations
- COSHH assessments to be provided for all hazardous materials
- All electrical works to be in accordance with BS7671 (Current edition).
- Charles Endirect LDPFI 6 double pole isolator to be provided with 6mm² tails to DNO cut-out.
- Columns to be tubular steel galvanised with glass flake root protection to 250mm above planting depth. Minimum design life to be 40 years. Minimum door opening size 500mm x 100mm for columns up to 6 metres nominal height. For columns over 6 metres the minimum door opening size shall be 600mm x 115mm. Where no vehicle access is possible for maintenance, then a suitable hinged column must be provided.
- Columns are to be generally installed at the rear of the footway / cycleway, or if in verge with a minimum set-back of 1.8m from face of kerb. All columns and illuminated signs for adoption must be installed within highway land or land to be adopted as highway.
- 3-core flexible cable to be provided from isolator to luminaire. Cable size to be 1.5mm² for column height up to 6 metres and 2.5mm² for column heights above 6 metres.
- All works in the vicinity of underground and overground utilities including excavation, digging and erection etc. must be in accordance with HSE guidance notes HSG47, HSG6 and NJUG guidelines.
- The contractor must acquire statutory undertaker plans prior to commencement of any works on-site. Where there are services identified in the area of the works the contractor must comply with the statutory undertakers requirements, such as hand digging in the area.

Key:

- Column** - 6m Tubular Steel Galvanised with glass flake root protection
 - Lantern** - DW Windsor Kirium Pro Mini 16 x 3k LED with CLO enabled LED driver and 10kV surge protection, RAL 7046 Mid-Grey Polyester Powder Coat Finish & 7 pin NEMA socket.
 - Quantity** 4
 - Mounting** - Post top on 76mm spigot
 - Tilt:** 0 degrees
 - Array** - A1 CLO 300mA 2.04klm
 - UMSUG Code** - 42 0013 0000 100
 - Wattage** = 13W
 - Control** - One part photocell 35/18 lux switching
- Adjacent lighting column position for information only

Revision C: 11.09.2025 - Dimming profile requested by Parish Council added to drawing.

Revision B: 21.06.2024 - Updated base drawing applied with wider road. Design amended to suit this new road width and layout of accesses off the road.

Revision A: 21.03.2023 - Drawing amended to suit adoption by Harpole Parish Council.

Notes:

Lighting designed to CIE 115 2010 - lighting class P6. The Parish Council will determine the extent of the lighting to be provided.

2.33 lux Average
 0.41 lux Minimum

0.4 Lux Min ISO contour
 2.0 Lux ISO contour

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Designer MM	Date of issue 16/12/2022
Checked WS	Authorised RO
Sheet Size A2	Scale 1:500 @ A2
Issue PRELIMINARY	Revision C

Drawing no.
8400-2885-01

Scheme Name and Ward:
Norwood Farm, Northampton

Streets on drawing:
Section 38 Works Link Road Proposed Street Lighting Layout

DW Windsor Kirium Pro Mini



3000k Warm White LEDs

Schedule Of Proposed Apparatus - Norwood Farm, Northampton - Section 38 Link Road

Section 38 Link Road	Column			Supply Point	Service Alteration Type	Luminaire	Notes
	Number	Height	Set back				
Lighting Columns	LC01	6m	Back of Footway	DNO / IDNO	New Connection	Kirium Pro Mini 16 x 3k A1 CLO 300mA 2.04klm 13W	6A
	LC02	6m	Back of Footway	DNO / IDNO	New Connection	Kirium Pro Mini 16 x 3k A1 CLO 300mA 2.04klm 13W	6A
	LC03	6m	Back of Footway	DNO / IDNO	New Connection	Kirium Pro Mini 16 x 3k A1 CLO 300mA 2.04klm 13W	6A
	LC04	6m	Back of Footway	DNO / IDNO	New Connection	Kirium Pro Mini 16 x 3k A1 CLO 300mA 2.04klm 13W	6A

NOTES:
 ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH NORTHAMPTONSHIRE COUNTY COUNCIL STANDARD DEVELOPMENT SPECIFICATION
 COM2015 REGULATIONS SHOULD BE ADHERED TO WHERE APPLICABLE.
 CONTRACTOR TO CONFIRM POSITION OF STATUTORY UNDERTAKERS PLANT BEFORE COMMENCEMENT OF THE WORKS.
 DURING WORKS ALL TRAFFIC MANAGEMENT TO BE IN ACCORDANCE WITH CHAPTER 8 OF THE TRAFFIC SIGNS MANUAL.
 PROPOSED LIGHTING COLUMNS ARE TO BE LOCATED TO THE REAR OF THE FOOTPATH WHEREVER POSSIBLE OR A MINIMUM OF 1000mm SETBACK FROM FRONT KERB EDGING.
 ANY EXISTING OR PROPOSED TREES ARE TO BE CUTBACK, REMOVED OR RELOCATED TO AVOID INTERFERENCE WITH THE STREET LIGHTING LUMINAIRE OR PREVENT ANY FUTURE MAINTENANCE.
 IF THE AUTHORITY OR CONTRACTOR EXPERIENCE ANY PART DISCREPANCY BETWEEN THIS DRAWING OR ANY OF THE DOCUMENTS RELATING TO THIS SITE THE AUTHORITY OR CONTRACTOR MUST CONTACT THE LIGHTING DESIGNER FOR CLARIFICATION.
 UNIT NUMBERS SHOWN ARE FOR DESIGN IDENTIFICATION PURPOSES ONLY.
 FINAL NUMBERING SYSTEM TO BE PROVIDED BY BALFOUR BEATTY AT COST TO DEVELOPER.
 DRAWING TO BE PRINTED IN COLOUR TO ENABLE CORRECT IDENTIFICATION OF SYMBOLS, PROPOSED LIGHTING CABLING OR LINETYPES SHOWN
 LIGHTING SCHEME DESIGNED IN ACCORDANCE WITH:
 BS 5489-1:2020 & BS EN 15301-2:2015
 SP RATIO: NA
 MAINTENANCE FACTOR: 0.75
 LIGHTING CLASSIFICATION: P6
 MIN. MAINTAINED AVERAGE ILLUMINANCE (EAV): +2.00 LUX +3.00 LUX
 MIN. ILLUMINANCE (EMNI): +0.40 LUX
 EMIN(EAV UNIFORMITY): +0.20 (20%)

STATS PROVIDED BY THE CLIENT SHOWS NO EXISTING OR PROPOSED HV CABLES OR HP/MP/PP GAS WITHIN THE AREA OF THE S38 WORKS. CURRENT STATUTORY SERVICE RECORD PLANS SHOULD BE OBTAINED BY THE CONTRACTOR/OVERSEEING ORGANISATION BEFORE COMMENCEMENT OF ANY STREET LIGHTING INSTALLATION OR REMOVAL WORKS.
 ALL SERVICES ARE TO BE LOCATED AND IDENTIFIED PRIOR TO INSTALLING OR REMOVING ANY LIGHTING COLUMNS. WORKS SHOULD BE CARRIED OUT IN ACCORDANCE WITH HSE G59, ENA 43.8, HSE HGS47, G39/1 AND ALL RELEVANT HSE REGULATIONS.
 DETAILS OF EXISTING STATUTORY UNDERTAKERS PLANT ARE TO BE OBTAINED BY THE CLIENT AND THE CONTRACTOR MAY EXAMINE THESE RECORDS AT THE ENGINEERS OFFICE. ALL WORKS IN THE VICINITY OF ANY OVERHEAD CABLES SHALL CONFORM TO THE REQUIREMENTS OF HSE GUIDANCE NOTE G56 'AVOIDANCE OF DANGER FROM OVERHEAD LINES' AND ALL WORKS IN THE VICINITY OF UNDERGROUND MAINS OR CABLES SHALL CONFORM TO THE REQUIREMENTS OF HSE GUIDANCE NOTE HGS47 'AVOIDING DANGER FROM UNDERGROUND SERVICES' AND ANY ADDITIONAL REQUIREMENTS SPECIFIED BY THE RELEVANT UNDERTAKER.
 THE CONTRACTOR WILL BE RESPONSIBLE FOR LIAISON WITH THE UNDERTAKERS AND FOR PROGRAMMING THE AGREED PROTECTION AND/OR DIVERSION WORKS TO ANY STATUTORY UNDERTAKERS APPARATUS INTO THE OVERALL WORKS PROGRAMME (THIS IS TO INCLUDE ADJUSTMENT OF STAKE COVERS).
 ANY DAMAGE TO PLANT OR APPARATUS SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
 NO WORKS SHALL BE CONSTRUCTED UNTIL TECHNICAL APPROVAL HAS BEEN OBTAINED FROM THE OVERSEEING ORGANISATION BY THE DEVELOPER. NO WORKS SHALL BE CONSTRUCTED WITHOUT APPROVAL, IF CARRIED OUT THEN THEY WILL BE ENTIRELY AT THE DEVELOPERS RISK, UNLESS OTHERWISE STATED WITHIN THE QUOTATION PROVIDED BY MMA LIGHTING CONSULTANCY. THIS DESIGN HAS NOT BEEN SUBMITTED FOR TECHNICAL APPROVAL.

Street Lighting Key:

Symbol
 Qty 53
 Qty 1
 Qty 48

Lighting Column:
 6m galvanised tubular steel column with glass fibre roof protection (250mm above planting depth) as supplied by GU Proco or similar approved to be installed in accordance with Northamptonshire County Council requirements.
 Planting depth for 6m columns 1000mm and >6m columns shall be 1500mm planted depth.
 Refer to Northamptonshire County Council standard detail drawing: SD 131/2

Luminaire: Philips Luma Gen2 Micro BL1
Mounting Type: Post top mounted

Manufacturer Ref: Luma Gen2 Micro BGP702 DM32 BL1 1400
Lumen Output: 1400 lm
Luminaire Wattage: 117 W
Charge Code: 42 0011 0000 100
Colour Temperature: 3000K Warm White
Luminaire Tilt: 0°
Luminous Intensity: G4

Control Type: Telensa Telecoil GPS enabled (TZE1N-G-3) 5 pin grey dimming CMS node (plug in locking type) mounted in 7 pin NEMA socket

Dimming Profile: Dusk until 22:00: 100% lumen output
 22:00 until 06:00: 50% lumen output
 06:00 until Dawn: 100% lumen output

Supply: DNO electrical supply connection
Primary Isolator: DNO approved isolator
Secondary Isolator: Charles Endirect LDFFI6

Lighting Column:
 6m galvanised tubular steel column with glass fibre roof protection (250mm above planting depth) as supplied by GU Proco or similar approved to be installed in accordance with Northamptonshire County Council requirements.
 Planting depth for 6m columns 1000mm and >6m columns shall be 1500mm planted depth.
 Refer to Northamptonshire County Council standard detail drawing: SD 131/2

Luminaire: Philips Luma Gen2 Micro BL1
Mounting Type: Post top mounted

Manufacturer Ref: Luma Gen2 Micro BGP702 DN50 BL1 1600
Lumen Output: 1600 lm
Luminaire Wattage: 137 W
Charge Code: 42 0013 0000 100
Colour Temperature: 3000K Warm White
Luminaire Tilt: 0°
Luminous Intensity: G3

Control Type: Telensa Telecoil GPS enabled (TZE1N-G-3) 5 pin grey dimming CMS node (plug in locking type) mounted in 7 pin NEMA socket

Dimming Profile: Dusk until 22:00: 100% lumen output
 22:00 until 06:00: 50% lumen output
 06:00 until Dawn: 100% lumen output

Supply: DNO electrical supply connection
Primary Isolator: DNO approved isolator
Secondary Isolator: Charles Endirect LDFFI6

Lighting Column:
 6m galvanised tubular steel column with glass fibre roof protection (250mm above planting depth) as supplied by GU Proco or similar approved to be installed in accordance with Northamptonshire County Council requirements.
 Planting depth for 6m columns 1000mm and >6m columns shall be 1500mm planted depth.
 Refer to Northamptonshire County Council standard detail drawing: SD 131/2

Luminaire: Philips Luma Gen2 Micro BL1
Mounting Type: Post top mounted

Manufacturer Ref: Luma Gen2 Micro BGP702 DW50 BL1 2200
Lumen Output: 2200 lm
Luminaire Wattage: 177 W
Charge Code: 42 0017 0000 100
Colour Temperature: 3000K Warm White
Luminaire Tilt: 0°
Luminous Intensity: G3

Control Type: Telensa Telecoil GPS enabled (TZE1N-G-3) 5 pin grey dimming CMS node (plug in locking type) mounted in 7 pin NEMA socket

Dimming Profile: Dusk until 22:00: 100% lumen output
 22:00 until 06:00: 50% lumen output
 06:00 until Dawn: 100% lumen output

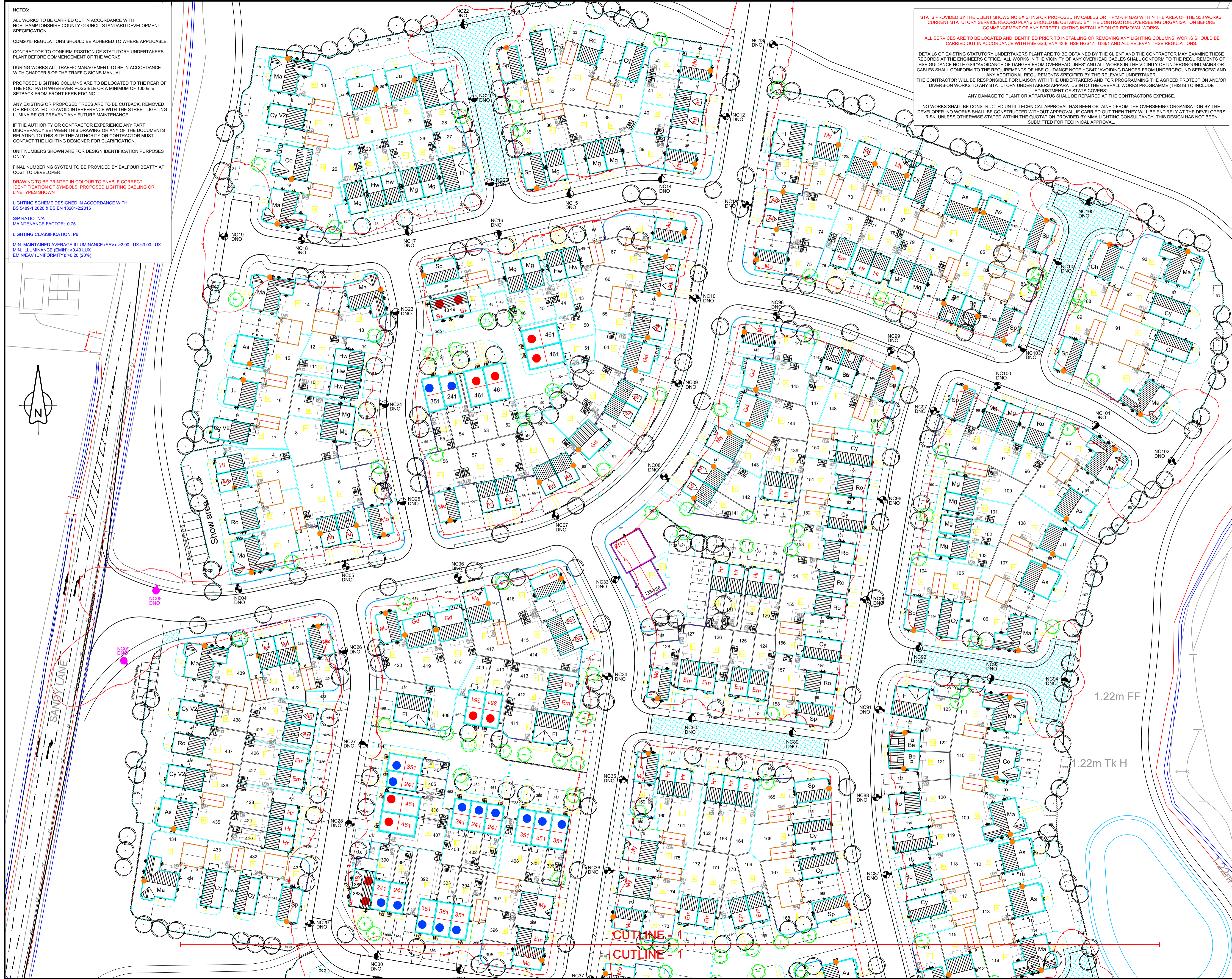
Supply: DNO electrical supply connection
Primary Isolator: DNO approved isolator
Secondary Isolator: Charles Endirect LDFFI6

Existing lighting column to remain on S278 scheme.

UNIT NUMBERING KEY:
 NC* Proposed lighting column identification number

ELECTRICAL CONNECTION TYPE:
 DNO Proposed Distribution Network Operator electrical supply connection

LIGHTING ISOLX CONTOUR KEY:
 0.40 Isolux contour line



REV	AMENDMENT	DATE	INITIAL
R0	INITIAL DESIGN	01/11/2021	SW
R1	ADDED S278 COLUMNS	04/02/2022	SW
R2	NEW BASE, ADJUSTED COLUMN POSITIONS	31/05/2022	SW



MMA

LIGHTING CONSULTANCY

Exterior Lighting Design Specialists

99 Old Bath Road, Summer Field House, Reading, RG10 9QN
 Phone: 0118 321 5638 Email: info@mma-consultancy.co.uk
www.mma-consultancy.co.uk

Project title NORWOOD FARM, NORTHAMPTON	
Drawing title S38 STREET LIGHTING DESIGN SHEET 1 OF 2	
Prepared by SW	Checked by HC
Scale 1:500 @ A1	Date 31/05/2022
Drawing Number MMA16871/001	Revision Details R2

STATS PROVIDED BY THE CLIENT SHOWS NO EXISTING OR PROPOSED HV CABLES OR HP/MIP/GAS WITHIN THE AREA OF THE S38 WORKS. CURRENT STATUTORY SERVICE RECORD PLANS SHOULD BE OBTAINED BY THE CONTRACTOR/OVERSEEING ORGANISATION BEFORE COMMENCEMENT OF ANY STREET LIGHTING INSTALLATION OR REMOVAL WORKS.

ALL SERVICES ARE TO BE LOCATED AND IDENTIFIED PRIOR TO INSTALLING OR REMOVING ANY LIGHTING COLUMNS. WORKS SHOULD BE CARRIED OUT IN ACCORDANCE WITH HSE C56, ENA 43-8, HSE HG547, G391 AND ALL RELEVANT HSE REGULATIONS.

DETAILS OF EXISTING STATUTORY UNDERTAKERS PLANT ARE TO BE OBTAINED BY THE CLIENT AND THE CONTRACTOR MAY EXAMINE THESE RECORDS AT THE ENGINEERS OFFICE. ALL WORKS IN THE VICINITY OF ANY OVERHEAD CABLES SHALL CONFORM TO THE REQUIREMENTS OF HSE GUIDANCE NOTE G56 'AVOIDANCE OF DANGER FROM OVERHEAD LINES' AND ALL WORKS IN THE VICINITY OF UNDERGROUND MAINS OR CABLES SHALL CONFORM TO THE REQUIREMENTS OF HSE GUIDANCE NOTE HG547 'AVOIDING DANGER FROM UNDERGROUND SERVICES' AND ANY ADDITIONAL REQUIREMENTS SPECIFIED BY THE RELEVANT UNDERTAKER.

THE CONTRACTOR WILL BE RESPONSIBLE FOR LIAISON WITH THE UNDERTAKERS AND FOR PROGRAMMING THE AGREED PROTECTION AND/OR DIVERSION WORKS TO ANY STATUTORY UNDERTAKERS APPARATUS INTO THE OVERALL WORKS PROGRAMME (THIS IS TO INCLUDE ADJUSTMENT OF STATS COVERS).

ANY DAMAGE TO PLANT OR APPARATUS SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.

NO WORKS SHALL BE CONSTRUCTED UNTIL TECHNICAL APPROVAL HAS BEEN OBTAINED FROM THE OVERSEEING ORGANISATION BY THE DEVELOPER. NO WORKS SHALL BE CONSTRUCTED WITHOUT APPROVAL, IF CARRIED OUT THEN THEY WILL BE ENTIRELY AT THE DEVELOPERS RISK, UNLESS OTHERWISE STATED WITHIN THE QUOTATION PROVIDED BY MMA LIGHTING CONSULTANCY. THIS DESIGN HAS NOT BEEN SUBMITTED FOR TECHNICAL APPROVAL.

NOTES:

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH NORTHAMPTONSHIRE COUNTY COUNCIL STANDARD DEVELOPMENT SPECIFICATION.

CDM2015 REGULATIONS SHOULD BE ADHERED TO WHERE APPLICABLE.

CONTRACTOR TO CONFIRM POSITION OF STATUTORY UNDERTAKERS PLANT BEFORE COMMENCEMENT OF THE WORKS.

DURING WORKS ALL TRAFFIC MANAGEMENT TO BE IN ACCORDANCE WITH CHAPTER 8 OF THE TRAFFIC SIGNS MANUAL.

PROPOSED LIGHTING COLUMNS ARE TO BE LOCATED TO THE REAR OF THE FOOTPATH WHEREVER POSSIBLE OR A MINIMUM OF 1000mm SETBACK FROM FRONT KERB EDGING.

ANY EXISTING OR PROPOSED TREES ARE TO BE CUTBACK, REMOVED OR RELOCATED TO AVOID INTERFERENCE WITH THE STREET LIGHTING LUMINAIRE OR PREVENT ANY FUTURE MAINTENANCE.

IF THE AUTHORITY OR CONTRACTOR EXPERIENCE ANY PART DISCREPANCY BETWEEN THIS DRAWING OR ANY OF THE DOCUMENTS RELATING TO THIS SITE THE AUTHORITY OR CONTRACTOR MUST CONTACT THE LIGHTING DESIGNER FOR CLARIFICATION.

UNIT NUMBERS SHOWN ARE FOR DESIGN IDENTIFICATION PURPOSES ONLY.

FINAL NUMBERING SYSTEM TO BE PROVIDED BY BALFOUR BEATTY AT COST TO DEVELOPER.

DRAWING TO BE PRINTED IN COLOUR TO ENABLE CORRECT IDENTIFICATION OF SYMBOLS, PROPOSED LIGHTING CABLING OR LINETYPES SHOWN.

LIGHTING SCHEME DESIGNED IN ACCORDANCE WITH: BS 5489-1:2020 & BS EN 13201-2:2015

S/P RATIO: N/A

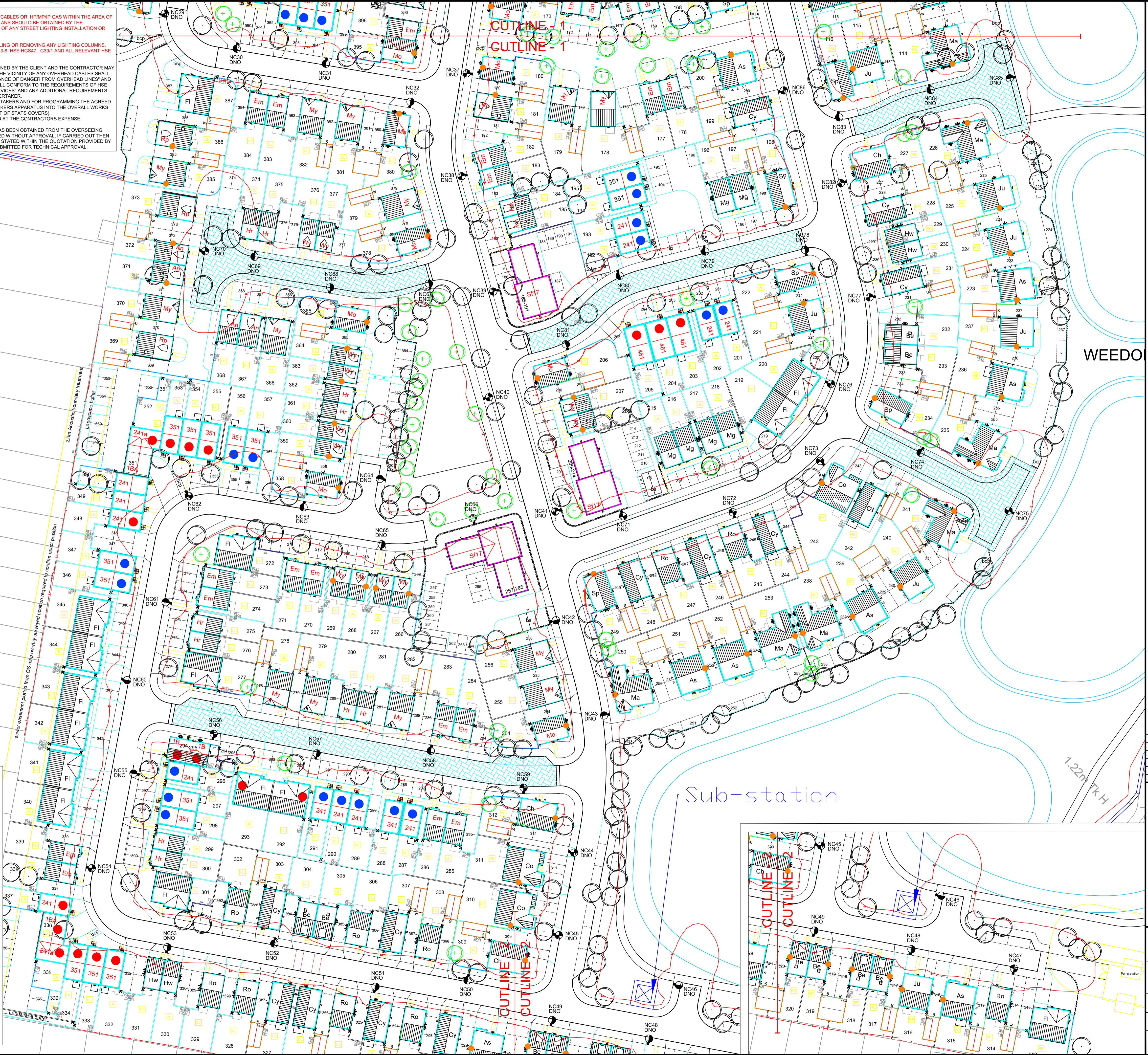
MAINTENANCE FACTOR: 0.75

LIGHTING CLASSIFICATION: P6

MIN. MAINTAINED AVERAGE ILLUMINANCE (EAV): >2.00 LUX <3.00 LUX

MIN. ILLUMINANCE (EMIN): >0.40 LUX

EMIN/EAV (UNIFORMITY): >0.20 (20%)



Street Lighting Key:

Symbol
Qty 53
Qty 1
Qty 48

Description

Lighting Column: 6m galvanised tubular steel column with glass fibre root protection (250mm above planting depth) as supplied by GU Prosoce or similar approved to be installed in accordance with Northamptonshire County Council requirements.
Planting depth for 6m columns 1000mm and >6m columns shall be 1500mm planted depth.
Refer to Northamptonshire County Council standard detail drawing: SD 13112

Luminaire: Philips Luma Gen2 Micro BL1
Mounting Type: Post top mounted

Manufacturer Ref: Luma Gen2 Micro BGP702 DM32 BL1 1400
Lumen Output: 140 lm
Luminaire Wattage: 17 w
Charge Code: 42 0013 0000 100
Colour Temperature: 3000K Warm White
Luminaire Tilt: 0°
Luminous Intensity: G4

Control Type: Telexis Telecoil GPS enabled (TZE1N-G-3) 5 pin grey dimming CMS node (plug in locking type) mounted in 7 pin NEMA socket

Dimming Profile: Dusk until 22:00: 100% lumen output
22:00 until 06:00: 50% lumen output
06:00 until Dawn: 100% lumen output

Supply: DNO electrical supply connection
Primary Isolator: DNO approved isolator
Secondary Isolator: Charles Endirect LDFFI6

Lighting Column: 6m galvanised tubular steel column with glass fibre root protection (250mm above planting depth) as supplied by GU Prosoce or similar approved to be installed in accordance with Northamptonshire County Council requirements.
Planting depth for 6m columns 1000mm and >6m columns shall be 1500mm planted depth.
Refer to Northamptonshire County Council standard detail drawing: SD 13112

Luminaire: Philips Luma Gen2 Micro BL1
Mounting Type: Post top mounted

Manufacturer Ref: Luma Gen2 Micro BGP702 DN50 BL1 1600
Lumen Output: 160 lm
Luminaire Wattage: 17 w
Charge Code: 42 0013 0000 100
Colour Temperature: 3000K Warm White
Luminaire Tilt: 0°
Luminous Intensity: G3

Control Type: Telexis Telecoil GPS enabled (TZE1N-G-3) 5 pin grey dimming CMS node (plug in locking type) mounted in 7 pin NEMA socket

Dimming Profile: Dusk until 22:00: 100% lumen output
22:00 until 06:00: 50% lumen output
06:00 until Dawn: 100% lumen output

Supply: DNO electrical supply connection
Primary Isolator: DNO approved isolator
Secondary Isolator: Charles Endirect LDFFI6

Lighting Column: 6m galvanised tubular steel column with glass fibre root protection (250mm above planting depth) as supplied by GU Prosoce or similar approved to be installed in accordance with Northamptonshire County Council requirements.
Planting depth for 6m columns 1000mm and >6m columns shall be 1500mm planted depth.
Refer to Northamptonshire County Council standard detail drawing: SD 13112

Luminaire: Philips Luma Gen2 Micro BL1
Mounting Type: Post top mounted

Manufacturer Ref: Luma Gen2 Micro BGP702 DW50 BL1 2200
Lumen Output: 220 lm
Luminaire Wattage: 17 w
Charge Code: 42 0017 0000 100
Colour Temperature: 3000K Warm White
Luminaire Tilt: 0°
Luminous Intensity: G3

Control Type: Telexis Telecoil GPS enabled (TZE1N-G-3) 5 pin grey dimming CMS node (plug in locking type) mounted in 7 pin NEMA socket

Dimming Profile: Dusk until 22:00: 100% lumen output
22:00 until 06:00: 50% lumen output
06:00 until Dawn: 100% lumen output

Supply: DNO electrical supply connection
Primary Isolator: DNO approved isolator
Secondary Isolator: Charles Endirect LDFFI6

Existing lighting column to remain on S278 scheme.

UNIT NUMBERING KEY:
NC* Proposed lighting column identification number

ELECTRICAL CONNECTION TYPE:
DNO Proposed Distribution Network Operator electrical supply connection

LIGHTING ISOLUX CONTOUR KEY:
0.40lux isolux contour line

REV	AMENDMENT	DATE	INITIAL
R0	INITIAL DESIGN	01/11/2021	SW
R1	ADDED S278 COLUMNS	04/02/2022	SW
R2	NEW BASE, ADJUSTED COLUMN POSITIONS	31/05/2022	SW

MMA LIGHTING CONSULTANCY
Exterior Lighting Design Specialists

99 Old Bath Road, Summer Field House, Reading, RG10 9QN
Phone: 0118 321 5638 Email: info@mma-consultancy.co.uk
www.mma-consultancy.co.uk

Project title		NORWOOD FARM, NORTHAMPTON	
Drawing title		S38 STREET LIGHTING DESIGN SHEET 2 OF 2	
Prepared by	SW	Checked by	HC
Scale	1:500 @ A1	Date	31/05/2022
Drawing Number	MMA16871/002	Revision Details	R2

P2B

J47-48
ROUNDBABOUT

Notes:

- This lighting scheme is intended to be offered to Harpole Parish Council for adoption. All works and equipment to be in accordance with the Parish Council requirements.
- All columns to have DNO or IDNO electrical connection. This will require the use of the developer's own MPAN number to ensure allocation to the correct energy account to pay for the electricity used up to the time of formal adoption. The low voltage cable network may need to be extended. Columns to be sited as per description in schedule.
- Numbering system is indicative only. Final site numbering, if required, to be provided by the Parish Council at adoption stage at cost to the developer.
- The contractor must comply with CDM regulations.
- The designer has not been made aware of any environmental issues on site that may affect the street lighting installation.
- Contractors disposal must comply with WEEE directive and COSHH regulations
- COSHH assessments to be provided for all hazardous materials
- All electrical works to be in accordance with BS7671 (Current edition).
- Charles Endirect LDPEI 6 double pole isolator to be provided with 6mm² tails to DNO cut-out.
- Columns to be tubular steel galvanised with glass flake root protection
Lantern - DW Windsor Kirium Pro Mini
8 x 3k LED with CLO enabled LED driver and 10kV surge protection, RAL 7046 Mid-Grey Polyester Powder Coat Finish & 7 pin NEMA socket.
Mounting - Post top on 76mm spigot
Tilt: 0 degrees
Array - A1 CLO 400mA 1.43klm
UMSUG Code - 42 0013 0000 100
Wattage = 13W
Control - One part photocell 35/18 lux switching
- Columns are to be generally installed at the rear of the footway / cycleway, or if in verge with a minimum set-back of 1.8m from face of kerb. All columns and illuminated signs for adoption must be installed within highway land or land to be adopted as highway.
- 3-core flexible cable to be provided from isolator to luminaire. Cable size to be 1.5mm² for column height up to 6 metres and 2.5mm² for column heights above 6 metres.
- All works in the vicinity of underground and overground utilities including excavation, digging and erection etc. must be in accordance with HSE guidance notes HSG47, HSG6 and NJUG guidelines.
- The contractor must acquire statutory undertaker plans prior to commencement of any works on-site. Where there are services identified in the area of the works the contractor must comply with the statutory undertakers requirements, such as hand digging in the area.

Key:

- Quantity 4
Column - 6m Tubular Steel Galvanised with glass flake root protection
Lantern - DW Windsor Kirium Pro Mini 16 x 3k LED with CLO enabled LED driver and 10kV surge protection, RAL 7046 Mid-Grey Polyester Powder Coat Finish & 7 pin NEMA socket.
Mounting - Post top on 76mm spigot
Tilt: 0 degrees
Array - A1 CLO 300mA 2.04klm
UMSUG Code - 42 0013 0000 100
Wattage = 13W
Control - One part photocell 35/18 lux switching
- Quantity 8
Column - 6m Tubular Steel Galvanised with glass flake root protection
Lantern - DW Windsor Kirium Pro Mini 8 x 3k LED with CLO enabled LED driver and 10kV surge protection, RAL 7046 Mid-Grey Polyester Powder Coat Finish & 7 pin NEMA socket.
Mounting - Post top on 76mm spigot
Tilt: 0 degrees
Array - A1 CLO 400mA 1.43klm
UMSUG Code - 42 0009 0000 100
Wattage = 9W
Control - One part photocell 35/18 lux switching
- Quantity 2
Column - 6m Tubular Steel Galvanised with glass flake root protection
Lantern - DW Windsor Kirium Pro Mini 8 x 3k LED with CLO enabled LED driver and 10kV surge protection, RAL 7046 Mid-Grey Polyester Powder Coat Finish & 7 pin NEMA socket.
Mounting - Post top on 76mm spigot
Tilt: 0 degrees
Array - A1 CLO 250mA 0.87klm
UMSUG Code - 42 0006 0000 100
Wattage = 6W
Control - One part photocell 35/18 lux switching
- Quantity 2
Adjacent lighting column position for information only

Notes:

Lighting designed to CIE 115 2010 - lighting class P6. The Parish Council will determine the extent of the lighting to be provided.

2.60 lux Average
0.43 lux Minimum
0.4 Lux Min ISO contour
2.0 Lux ISO contour

DW Windsor Kirium Pro Mini



3000k Warm White LEDs

Attenuat Basin

Schedule Of Proposed Apparatus - Norwood Farm Phase 2B, Harpole, Northampton - Section 38

Phase 2B Section 38	Column			Supply Point	Service Alteration Type	Luminaire	Notes
	Number	Height	Set back				
Lighting Columns	LC05	6m	Back of Footway	DNO / IDNO	New Connection	Kirium Pro Mini 16 x 3k A1 CLO 300mA 2.04klm 13W	6A
	LC06	6m	Back of Footway	DNO / IDNO	New Connection	Kirium Pro Mini 8 x 3k A1 CLO 400mA 1.43klm 9W	6B
	LC07	6m	Back of Footway	DNO / IDNO	New Connection	Kirium Pro Mini 8 x 3k A1 CLO 400mA 1.43klm 9W	6B
	LC08	6m	Back of Footway	DNO / IDNO	New Connection	Kirium Pro Mini 8 x 3k A1 CLO 250mA 0.87klm 6W	6C
	LC09	6m	Back of Footway	DNO / IDNO	New Connection	Kirium Pro Mini 8 x 3k A1 CLO 250mA 0.87klm 6W	6C
	LC10	6m	Back of Footway	DNO / IDNO	New Connection	Kirium Pro Mini 16 x 3k A1 CLO 300mA 2.04klm 13W	6A
	LC11	6m	Back of Footway	DNO / IDNO	New Connection	Kirium Pro Mini 8 x 3k A1 CLO 400mA 1.43klm 9W	6B
	LC12	6m	Back of Footway	DNO / IDNO	New Connection	Kirium Pro Mini 8 x 3k A1 CLO 400mA 1.43klm 9W	6B
	LC13	6m	Back of Footway	DNO / IDNO	New Connection	Kirium Pro Mini 8 x 3k A1 CLO 400mA 1.43klm 9W	6B
	LC14	6m	Back of Footway	DNO / IDNO	New Connection	Kirium Pro Mini 8 x 3k A1 CLO 400mA 1.43klm 9W	6B
	LC15	6m	Back of Footway	DNO / IDNO	New Connection	Kirium Pro Mini 8 x 3k A1 CLO 400mA 1.43klm 9W	6B
	LC16	6m	Back of Footway	DNO / IDNO	New Connection	Kirium Pro Mini 8 x 3k A1 CLO 400mA 1.43klm 9W	6B
	LC17	6m	Back of Footway	DNO / IDNO	New Connection	Kirium Pro Mini 16 x 3k A1 CLO 300mA 2.04klm 13W	6A
	LC18	6m	Back of Footway	DNO / IDNO	New Connection	Kirium Pro Mini 16 x 3k A1 CLO 300mA 2.04klm 13W	6A

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Balfour Beatty
Living Places

Designer: MM Date of issue: 02/08/2024

Checked: WS RO Authorised: A1 Sheet Size: Scale: 1:500 @ A1

Issue: PRELIMINARY Revision: ORIG.

Drawing no.: 8400-3280

Scheme Name and Ward: Norwood Farm Phase 2B, Harpole, Northamptonshire

Streets on drawing:

Proposed Street Lighting Layout

CONSTRUCTION / FINISHING SPECIFICATION

Sports Pavillion, Norwood

This construction specification document is to be read in conjunction with all Architects drawings, standard details, Structural & Civil Engineers, M&E, Acoustician & Topographical survey. The specification below is to be used for costing purposes only and is subject to change once detailed design is undertaken. All drawings available via Vistry Homes Viewpoint document management system.

1.00 Foundations

All foundations to Structural Engineers design and to conform to the recommendations given in the Site Investigation Report to ensure that the geotechnical hazards and any potential contamination risks are managed effectively – Refer to NHBC Standards 4.1 for further details. All loadbearing elements shall be adequately supported by foundations. All foundations to be in accordance with Approved Document Part A ~ Structure - Section 2E, comply with the relevant British Standards and NHBC Standards as detailed below.

2.00 Sub Floor Void Ventilation

A minimum void of not less than 150mm should be provided below the underside of the beams.

Two opposing external walls should have ventilation openings placed so that the ventilating air will have a free path between opposite sides and to all parts of the floor void. The openings should be not less than either 1500mm²/m run of external wall or 500mm²/m² of floor area, whichever gives the greater opening area.

Ventilation openings should incorporate suitable grilles which prevent the entry of vermin to the sub floor but do not resist the air flow unduly. Where sleeper walls are provided, they should be constructed with sufficient openings to ensure adequate through ventilation. Ventilation should not be obtained through a garage. Refer to Vistry Group working drawings for further details.

3.00 Drainage

Soil & vent pipes to be 110mm PVCu to conform to BS and either externally vented or fitted with AAV. Wastepipe sized relative to branch length. Sinks and basins to have 75mm deep seal traps. Provide access hatch where necessary for cleaning purposes etc.

Drains below buildings to be surrounded in granular material. Drains passing through / below ground masonry or concrete to be surrounded in a flexible material with an RC lintel over and flexible joints either side.

Foul drainage to take into account the proposed layout. Provide rod-able gullies and manhole access on the change of the direction.

Soil stacks to be framed in with 50 x 50mm s.w. battens and insulated with a minimum of 25mm insulating quilt clad with 2No. layers of 12.5mm Gyproc Wallboard to ensure a minimum mass of 15kg/m² in accordance with the NHBC Standards Chapter 8.1.6.

Where long drainage runs occur use anti siphonic traps where necessary.

Pipes are to be adequately secured with suitable clips or brackets. Fixings should be installed neatly and spaced to prevent sagging but not restrict thermal movement. Sufficient room should be allowed for thermal expansion and contraction to avoid damage and noise from the pipe movement.

Surface water design to be in accordance with the Approved Document Part H3 'Rainwater Drainage'.

Rainwater goods to be deep flow black half round PVC-U gutters to min. 89mm diameter round pipes & 150mm min. gutter fixed in accordance with the manufacturer's instructions all to discharge into trapped gullies to serve 147m² effective roof area and a flow capacity of 2.16 litres/second. All in accordance with the Approved Document H3 Table 2.

For below ground drainage refer to appropriate Vistry Build Unit 'Site Drainage Plans' for further information.

Water butts to be added at the in an appropriate area near the dedicated player entrance from the pitch to allow for cleaning of boots during the winter months to prevent mud inflow.

4.00 External Walls

100mm thick solid conc. blocks to founds, 100mm cavity with conc. cavity fill up to ground level, with 100mm blockwork to SE design to inner leaf. Approved brickwork taken min 1 block courses below DPC, 75mm below external ground level. To Achieve a min 0.18 W/m²K.

102.5mm approved brickwork, 100mm Concrete blockwork (3.5N/mm² This is to be confirmed), 100mm injected blown fibre (0.034 W/mK) or equal. Note: Insulation subject to change dependent on if concrete blocks density and 'U' Value required to wall once SBEM has been undertaken.

'Thermabate' insulated cavity stops to suit opening width to all external openings at jambs and cills.

5.00 Wall ties

For a 100mm cavity a tie length of 225mm is required of a type of either double triangle or vertical twist. The embedment depth of the tie should not be less than 50mm in both leaves and tie should be either level or sloping downwards to the outer leaf in external cavity walls. Wall ties should be spaced 900mm horizontally and 450mm vertically in a general wall area, equivalent to 2.5 ties per square metre and within a distance of 225mm from the vertical edges and not more than 300mm vertically at opening jambs and movement joints in accordance with Approved Document Part A – 'Structure' Section 2C paragraph 2C8. Particular attention should also be paid where insulation bats or slabs start below dpc as per NHBC Standards Chapter 5.1.15 Cavity wall ties to be ANCON Staifix HRT4 (Type 4/A Tie – Masonry Light Duty) - 225mm long cavity wall tie to external masonry and party walls up to 10m in height, where windspeed does not exceed 27m/s and altitude is not more than 150m above sea level and unless specified otherwise for individual scheme by Structural Engineers.

6.00 Air Tightness

Seal between wall and floor air barrier with flexible non hardening sealant or between skirting board and floor. Continuous ribbons of flexible non hardening sealant to be used around all openings - window, doors, service penetration and around room perimeters, along top and bottom of wall and at internal and external corners. To achieve an air permeability figure of 4.5 m³/h/m² @ 50 Pa.

7.00 D.P.C.

DPC to run down wall and lap under DPM by minimum 150mm. DPCs to be laid at a minimum of 150mm above adjacent ground level. Cavity tray from inner to outer leaf to bridge cavity of wall jointed with bitumen using double sided jointing tape as recommended.

8.00 Lintels

Thermally broken insulated lintels over doors and windows in cavity walls, 150mm end bearings with DPM cavity trays. Large span window lintels (such as the ones in the main hall are circa 6000mm. S.E to confirm steel design to carry leafs of masonry.

9.00 - Steelwork

All steelwork to be in accordance with NHBC Standards Section 6.5 'Steelwork' as indicated on plans to be sized and detailed by Structural Engineer fully supported with calculations in accordance with Technical Requirement R5 including padstone sizes, end bearings and connection details where applicable, all to BS EN 1993-1-1 using grade S275 steel.

Steelwork to be protected to achieve the required durability and protected by 1 No. Layer of 12.5mm Gyproc Fireline plasterboard with 5mm skim, joints staggered and taped fixed to steel using Gypfame steel framing clips and lining channels to give 30minutes fire rating as indicated on the working drawings. Steel beams may be built into the separating wall, provided that all voids around the beam are filled with mortar or flexible sealant, however separating party walls must NOT be constructed off steel beams.

All steelworks to have adequate protective coating applied before delivery to site. Provide concrete padstones at beam bearings as noted in the Structural Engineer's calculations and indicated on the Architects drawings.

10.00 Internal Walls

Timber studwork to comprise of 63 x 38mm at 600mm centres with a single layer of 12.5mm Gyproc Wallboard plasterboard (8.0kg/m²) either side and where indicated 11mm OSB sheathing nailed to timbers.

Where indicated on the working drawings to achieve Rw 40dB, cavity to be filled with 65mm Isover 1200 Acoustic Partition Roll.

12.5mm Gyproc Moisture Resistant (8.6kg/m²) to be used in areas that are exposed intermittently to damp conditions and where moisture resistance is required, whilst maintaining plasterboard mass for sound insulation. Additional timber noggings to 600mm centres, measured vertically, to areas of full height tiling, MR board is suitable for a tiling weight up to 32kg/m² maximum.

11.00 Ground Floor

To Achieve a min 0.14W/m²K. Assumed 'U' Value TBC with M&E Consultant. • Generally, PVC flooring laid to manufacturers' instruction, specification as finishes plan. • 75mm Isocrete-k screed with reinforcement as specified by S.E • 500 gauge polythene sheet (150mm overlaps & taped joints) to prevent wet screed penetrating joints on, • 75mm thick Xtratherm XT/UF Expanded polystyrene floor slab insulation (25mm board round perimeter walls up to floor level), or similar approved thermal conductivity 0.023W/mK • 300mm overlaps & taped joints with bitumen, torch applied DPC or similar approved to run vertically up external leaf and dress into cavity tray. • DPC cavity tray from inner to outer leaf of wall jointed with bitumen using double sided jointing tape as recommended. • 150thk. Rc35 concrete slab, reinforced with a142 mesh, btm. 50mm cover, 400 laps. •

150mm minimum well compacted hardcore to S.E details with minimum 25mm sand blinding

12.00 Floor finishes specifications

Entrance Hall, Kitchen, Office/First Aid Room, Stores, Plant, Kitchen, Equipment Store & CLUB ROOM- Altro Classic 25, Changing rooms, cleaner store & WC's – Altro Aquarius. Provide barrier matting to both doors into entrance hall and lobby.

13.00 Wall Finishes

Ceramic Tiles - All tiles supplied by Porcelanosa. Mastic pointing to internal corners of tiling. Square edge plastic trims to external corners and square capping to top of half height tiled areas. Colour to co-ordinate with tiles. Grout to co-ordinate with wall tiles. Tiles laid landscape.

Paint - Dulux Trade White Supermatt Emulsion. One mist and two full coats.

Timber – Window boards, linings, architrave, skirting and internal doors - Solvent Based Option - Dulux Trade Undercoat, two coats followed by Dulux Trade Satin, one coat. Water Based Option – Dulux Trade Quick Dry Undercoat, one coat followed by Dulux Quick Dry Satin, 2 coats. Where spot priming is required Dulux primer to be used.

14.00 Roofs

To Achieve a min 0.15W/m²K. Assumed 'U' Value TBC with M&E Consultant. • Provide new Concrete roof tiles, specification to local authority approval on • Treated timber battens – 50x25mm to tile manufacturers recommendations. • Any Acoustic lining to acoustic engineer's specification To Achieve a min 0.18W/m²K. Assumed 'U' Value TBC with M&E Consultant. • Pitched roof section to be at 45deg off timber trusses to specialist design. • insulation quilt at ceiling tie level in accordance with SAP assessment • Plasterboard finish to trusses.

15.00 Fascia's/ Barges/ Soffits

Provide UPVC fascia & barge board 225x25mm 45-degree chamfer on bottom edge. To have dark grey finish to local authority approval. Provide new UPVC bargeboards generally 2250x18mm. To have dark grey finish, to local authority approval. Flashings - Abutments to walls code 4 lead flashing with code 3 to soakers. Valleys; code 4 lead work on 12mm ply with 50 x 50 angle fillets. Alternative specification for flashings etc is to use Icopal formflash. Gutters / RWP's – 150mm deep flow gutters with 89mm downpipes.

16.00 External Doors / Windows

General UPVC, double glazed windows, doors, 'U' value 1.4 W/m²K (TBC) but target min 1.9W/m²K. Dark Grey RAL 7016 colour as approved planning drawings. Fixed in accordance with manufacturer recommendations. Manifestation to glazing: To be in full accordance with Approved documents N and M. Manifestation on the glazed curtain walling including doors to be at two levels, 900 and 1500mm off FFL, contrasting visually with the background seen through the glazing (both from inside and outside) in all lighting conditions. Ironmongery specification provided for costing purposes in Appendix 1. Door guards to all external doors.

17.00 External Doors

UPVC, Pivot doors - anti-finger trap hanging door stile, colour dark grey RAL 7016. Where glazing is required - Clear double-glazing units with 7.5mm Low E Laminated inner pane and 6mm Toughened outer pane. Doors must be internally beaded for security.

18.00 Windows

To be UPVC top hung with trickle vents to frame to open out, restrictors TBC. Double glazed units - 6.8mm low E laminated glass inner pane, 6mm toughened outer pane to achieve min 'U' of 1.4 W/m²K. Fixing of windows to manufacturers specification. Operation: Window openings up to 1700mm high (operation height) manual opening handles to be used, to be on restrictors subject to M&E ventilation strategy. Trickle Ventilation: As required by M&E natural ventilation strategy and in accordance with approved documents. RAL 7016

19.00 Internal Doors

Internal doors to have Formica laminate facing with contrasting lipping's all round. Softwood frames and architrave, where glazing to doors it is to be clear glass to meet fire & acoustic performance. Fire doors to be prefinished 30-minute solid core fire doors (at least 44mm thick), affixed to new frame with three heavy duty hinges & new SW architraves. Vision panels to all doors except wc, storage and plant room. Fix new Stainless-Steel ironmongery throughout. Door access control strategy to be finalised with the end user.

20.00 Sanitaryware / Accessible Toilets

Cubicles: - Armitage Venesta - 'Award' range in SGL [Solid Grade Laminate]. • Contour 21 WC - Close coupled WC suite with Contrasting seat • Ideal Standard WHB & self-closing taps. Mixer taps to be self-closing with nozzle which give 2l/m Not anti-vandal - L6937NU.

Alder Cleaner's sinks Fitted in full accordance with manufacturers recommendations.

21.00 Kitchen

Worktop to kitchen to have section with clear space beneath at least 700mm above the floor in line with part M with 1500 x 1500 Wheelchair turning space. Allow for mix of base and wall units. Kitchen design and layout to specialist design and details. Allow for 25% lockable units. Kitchen to have double sink, fridge/freezer space, include a separate handwash basin. Allow for 2no single ovens and hobs.

22.00 Shelving

Serving hatch required to kitchen to be 30min fire rated. Cill of hatch to line through with kitchen worktop level.

23.00 Mechanical and Electrical

All electrical work is required to meet the requirements of Approved Document Part P - Electrical Safety - Dwellings and therefore must be designed, installed, inspected and tested by a person competent to do so, and as such be working under a relevant and approved Competent Persons Scheme. All electrical installations should comply with BS 7671 'Requirements for Electrical Installations' incorporating Amendment No 1:2011.

IMPORTANT: A copy of the Electrical Inspection Test Certificate must be available on site for inspection by the Building Control Body.

24.00 Consumer Units

Consumer units to be constructed of a non-combustible material and shall comply with BS EN 61439- 3. All openings into the unit to be fitted with proprietary grommets to prevent cable damage where appropriate. Consumer units are to be mounted so that the switches are 1350-1450mm above floor level and positioned as shown on the working drawings.

25.00 Smoke and Heat Detectors

To be provided as detailed in the Approved Document Part B – ‘Fire Safety’ Section 1: ‘Fire detection and fire alarm systems’. To be fitted with minimum 1no. Ceiling mounted audible self-contained smoke alarm as indicated on working drawings. Alarms to be permanently wired to a circuit which is electrically protected at the consumer unit and to which no other equipment is connected. Alarms to have battery back-up. Where more than one alarm is required, they shall be interconnected to activate simultaneously upon detection of smoke. The electrical installation should comply with the Approved Document P - Electrical Safety. The kitchen area to have a compatible interlinked heat detector or heat alarm, in addition to whatever smoke alarms are needed in the circulation spaces and as indicated on the working drawings. CO detector adjacent to gas boiler. Doorbell to main entrance with door chime within Foyer.

26.00 Internal Lighting

Refer to the working drawings for locations. White pendant lamps throughout with batten holders to the Kitchen, plant, cleaners store, Disabled WC, and unisex WC’s.

27.00 External Lighting

Refer to the working drawings for locations. Bulkhead Wall mounted PIR lighting.

28.00 Socket Outlets

Electrical services and installations. Generally, switches and socket outlets for lighting and other equipment in habitable rooms at appropriate heights between 450mm and 1200mm from finished floor level and a minimum distance of 300mm, measured horizontally from an electrical fitting to the edge of a sink or drainer to be maintained for the purposes of avoiding adverse effects from using a sink or drainer. Refer to the Approved Document Part M for detailed provisions for Categories 1,2 and 3.

Socket Provision. Refer to detailed working drawings for specification, location and provision of electrical fittings.

29.00 Plumbing and Heating

To specialist design, generally ASHP & Cylinder to provide hot water and heating. Radiator/underfloor heating positions as shown on M+E drawings throughout.

30.00 Building Security

Allow a provisional sum for a building security alarm.

Allow a provisional sum for CCTV.

Allow a provisional sum for digital access control to entrance door and both main hall doors.

31.00 Ventilation

All to be in accordance with the Approved Document Part F ‘Ventilation’

496578	NBR High Pressure Axia Fan 100PIR – WC’s
431613B	Centrif Duo Plus P - Kitchen
439256	Centrif Duo Plus Flush Mounting Kit - Kitchen

32.00 Externals

Drive & Parking Bays.

External works are to be tarmac to the group specification: [GROUP-VIS-S-EX-D2-A-FC-0236](#).

Detail shown in the appendix 1.

Landscaping

For specification and layout arrangements refer to planning approved landscaping drawing;

Detailed Sports Pavillion Proposal - Drawing No. edp2561_sk005f

Detailed Soft On-plot Landscape Proposals Sheet 4 of 5 – Drawing No. edp2561_d084i

33.00 Refuse Store

To be discussed for location before deciding the build-up of the ground.

34.00 Utilities

- Gas position tbc
- Water position tbc
- BT position tbc
- Elect position tbc

35.00 Insulation

Insulation tbc by SBEM assessor

36.00 Low and Zero Carbon Technologies

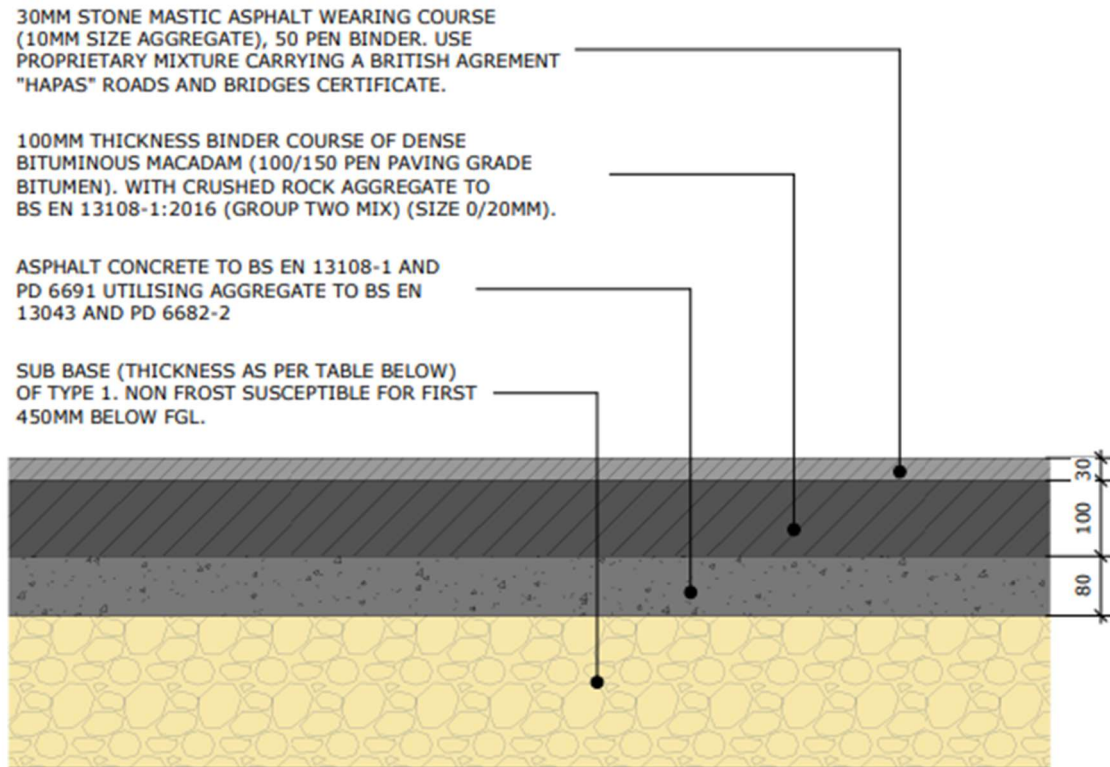
The use of PV Solar power technology is to be incorporated into this building on confirmation from the SBEM assessment.

37.00 Boundary Treatment & Vehicular Access Gate

Fencing around sports pavilion as per planning approved layout specified as 1.2M high estate railings in black with lockable vehicular access gate to match.

38.00 Appendix 1

Parking area detail



BLACKTOP CIRCULATION AREAS



Harpole Parish Council

Work Plan September 2025 – September 2026

Harpole Parish Council will publish a work plan annually in May, for the forthcoming year. The work plan will be drawn from Council's Medium Term Business Plan. The Work Plan will contain ongoing commitments as well as identified projects for the forthcoming year for which budgets have been identified, issues raised by members of the public during the year; and matters identified within parish council meetings.

Ongoing Work.

	Action	Objective	Action By:	Complete By	Year-end Review
1	Meet requirements of the Transparency Code 2014 by ensuring that the relevant information is published annually and quarterly.	To meet legal requirements to make all relevant information easily accessible to the public.	Clerk	Ongoing	Completed quarterly.
2	To update policies and procedures and Terms of Reference for Committees. To write new policies where required, in conjunction with Council.	To ensure the councillors and the clerk work to current legislation and best practice.	Clerk / appropriate committee.	Ongoing	Completed as and when required.
3	Review risk register on a regular basis.	Good risk management.	Finance Committee / Clerk	Ongoing	Reviewed by Finance Committee each quarter.

Agreed
Review



4	To support staff and councillors in attending training, courses and conferences.			Ongoing.	Ongoing
5	To maintain the Communications Action Plan, work to improve communications and implement any agreed elements	To ensure that communication with residents and community engagement are a priority for the Council	Clerk and Councillors.	Ongoing.	Ongoing
6	To ensure that the purpose and manner of processing personal data is according to the law.	To ensure information is handled appropriately.	Clerk, staff and Councillors.	Ongoing.	Ongoing
7	Continue developer liaison arrangements in relation to Harlestone Manor development (N4) and Norwood Farm (N9A)	To enable good working relationships with the developers and smooth handover of facilities.	Clerk/SFP Committee	Ongoing	Ongoing
8	To review staffing levels and recruitment to accommodate future needs	To realistically assess needs and put in place appropriate resources	Clerk / Full Council	Ongoing	Ongoing

Special / One-Off Projects for 2025/26

	Action	Objective	Action By:	Complete By	Year-end Review
9	To Identify and ensure registration of all Parish Council owned land.	To ensure good governance and record keeping.	Clerk	Dec 2025	

Agreed
Review



10	To review lease to Harpole Bowls Club	To ensure suitable ongoing arrangements once current lease ends	Clerk and SFP Committee	September 2025	
11	To scan the legal documentation of the parish council to store in the Cloud.	To ensure legal documents are protected in the event of the loss of The Parish Office.	Clerk	December 2025	
12	To develop a portfolio of parish projects for the CIL income stream	To ensure that Community Infrastructure Levy funding is allocated appropriately.	Clerk/SFP Committee	continuous	
13	To develop options for managing open space from the new developments and to establish expected timelines.	To enable forward planning of necessary actions.	Clerk/SFP Committee	continuous	
14	To work with Vistry for provision of new pavilion	To ensure that council gets a facility that the village needs	Clerk, SFP Committee	Summer 2026	
15	To consider Playing Fields strategy should this come to HPC possession. Charitable Status vs removal of charity status.	To ensure that the Playing Fields are in use for the whole village.	Clerk, SFP Committee		
16	To update village maps		Clerk, PHI Committee		
17	To find more burial land	To work with the church and landowners to find land to extend the burial ground	Clerk, PHI Committee		

Agreed
Review



18	Play equipment replacement				
19	Update Neighbourhood Plan				
20	Defib at Manning Watts	Arrange connection			
21	Review of provision of street furniture	In village and new developments	Clerk / PHI	Ongoing	
22	Management of allotments	To have well maintained site and look to secure any S106	Clerk / PHI	Ongoing	
23	Work with developer on specification for new community facility	To ensure facility is right for parish	Clerk / Council	Sept 26	

Agreed
Review



“Working to secure the future for everyone in Harpole”

Business Plan 2024-2029

Objectives

We will support local activities, organisations and events.

We will foster the community spirit and a sense of belonging for all residents

We will work with others to make improvements that benefit our residents

What is a Parish Council Business Plan?

The Parish Council Business Plan sets out the Parish Council's vision for the Parish, its purpose, objectives and key priorities for the next 4 years (term of current council).

By creating a Business Plan the Parish Council has created a framework which will enable the Council and its committees to work in a consistent and co-ordinated way. The Business Plan will help the Council to become proactive rather than reactive in its decision making and will help our residents to have a better understanding of what the Parish Council does.

The Business Plan will be a "live" document continuously reviewed and updated with progress against the Council's priorities and will be monitored by the Strategy, Finance and Policy Committee.

Harpole Parish Council – An overview

There are currently two tiers of local government in Northamptonshire. Harpole Parish Council is the first and most local tier, so it represents the interests of residents and supports the work of community groups. With the planned development, the parish will grow considerably over the next ten years, and it is important that the Parish Council plans for those changes as it moves forward.

West Northamptonshire Council (WNC) is the second tier, formed 4 years ago from the amalgamation of Daventry District Council, South Northamptonshire Council and Northampton Borough Council along with Northamptonshire County Council. This new Unitary Authority is responsible for environmental services, housing and planning, highways which includes both roads and pavements, education, health, public rights of way and libraries. A new countywide trust has been established for Child and Adult Social Services.

Residents elect thirteen parish councillors every four years. The Parish Council elects a Chairman annually at the Annual Parish Council Meeting in May. The Council reports to residents at the Annual Meeting of the Parish held between March and June. Parish Councillors are holders of public office but are unpaid. They commit time to make Harpole the best it can be by protecting what is great about our area and working either directly or with others to make improvements. The next elections will be held in May 2029.

The Parish Council owns land at the allotments and Bowls Club, along with some smaller areas, has assets including litter bins, dog waste bins, notice boards

and bus shelters and is also responsible for many of the street lights within the parish. The Parish Office is in Larkhall Lane, at the site of Harpole Bowls Club.

Currently, the full Council meets on the second Monday of every month in the Methodist Chapel. Strategy, Finance and Policy committee meets on the first Monday of each “odd number” month, and the Planning, Highways and Infrastructure Committee meets on the last Monday of each month. All meetings are open to the public with a period set aside for members of the public to address the Council. Residents are not permitted to take part in discussion at the meetings other than during the public time.

The Council works to its Standing Orders and Financial Regulations which lay down the rules by which it operates and conducts its business. These two documents are, in effect, the Council’s constitution. Councillors are also expected to abide by the Code of Conduct which governs standards of behavior. The Council employs a full time Clerk who works both from home and in the Parish Office. The Clerk administers the Council affairs and carries out all the functions required by law. The Clerk is responsible for administration of the Council’s financial affairs and advises the Council on governance and procedural matters.

Financial Information

The residents of Harpole fund the Parish Council via the “precept”. The precept is the local tax levied by the Parish Council and collected on behalf of the parish by West Northamptonshire Council.

The main items of expenditure are office administration and maintenance of the various areas of land and the highway verges. The Council plans its budget each year through its committees and any activities or projects which have not been budgeted for must either replace an existing budget item, be paid for from our reserves or through a planned increase in precept.

Our general reserve is the money the Council holds in case there is a major problem which affect the Council’s business
The council also holds CIL monies from development in the parish that has some limitations on spend.

Parish Council Governance Objectives

The Parish Council endeavours to be professional, competent and caring, to be open and accountable in all it does and to ensure sound financial

management. The Parish Council has adopted policies to demonstrate its commitment to ensuring openness, transparency and good governance. All documents are available in full on our website www.harpole-pc.gov.uk

The Parish Council aims to:

- Be well-informed about the needs of our residents
- Improve our councillor's and staff skills by undertaking training

- Be aware of opportunities and policy requirements
- Promote public participation at meetings and wider community events
- Deal with enquiries speedily and efficiently in line with its adopted policy
- Manage the new areas and associated budgets in the most efficient way to benefit the whole community
- Take on board all feedback either negative or positive and respond to providers

Key themes

The Parish Council has identified key themes which we wish to concentrate on during the next three years. These priorities form the basis for the development of Annual Work Plans and future budgets and will enable us to fulfil our plans.

Focus	Proposed Action	Effect
Administration		
To review staffing levels and recruitment to accommodate future needs	<ul style="list-style-type: none"> • To realistically assess the Council's needs and put in place a sustainable team of officers 	Council will be able to meet all opportunities and needs pro-actively.
To continually review our ways of working and office practice.	<ul style="list-style-type: none"> • To continue to operate and review our policies and procedures. 	Already included in working practices
To liaise with and improve relations with residents, stakeholders, and neighbouring parishes.	<ul style="list-style-type: none"> • To increase our profile within community by holding regular resident liaison and consultation events • Encourage resident attendance at Parish Council meetings through increased use of noticeboards, website & social media. 	Attendance may be outside normal working hours. Councillors & Officers to be proactive.

To regularly review Parish Council legal powers and consider any new opportunities.	<ul style="list-style-type: none"> • Maintain dialogue with unitary council 	Councillors and Officers to be up to date with legislation changes
To utilise money available from budget to deliver on budget proposals.	<ul style="list-style-type: none"> • To review levels of spending throughout the year and ensure funds are utilised as per budget allocation. 	To ensure review/monitoring/reporting mechanism is in place
To encourage training of staff and councillors	<ul style="list-style-type: none"> • Courses available to be circulated • Councillors encouraged to follow courses required for Foundation level of councillor development framework 	To ensure councillors and staff have up to date knowledge of relevant parts of the sector.

	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q
1	Income and Expenditure for the year ended 31 March 2024																
2																	
3		APR	MAY	JUN	JUL St 1	AUG St2	SEP St3	OCT St4	NOV St5	DEC	JAN	FEB	MAR	YTD		2023/24	
4																	
5	Income																
6	Preschool rent	1051.33	1051.33	1051.33	0.00	1051.33	1051.33	1051.33	1051.33					7359.31		12615.96	
7	Gigaclear - Preschool	0.00	0.00	0.00	0.00	0.00	0.00	108.00	0.00					108.00		273.50	
8	Ad Hoc Booking	220.00	210.00	60.00	60.00	40.00	40.00	100.00	400.00					1130.00		1941.25	
9	Harpole Parish council	0.00	80.00	120.00	0.00	194.59	200.00	0.00	120.00					714.59		1160.00	
10	WI	0.00	0.00	40.00	0.00	0.00	0.00	0.00	0.00					40.00		215.00	
11	Council Precept	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00					0.00		4000.00	
12	Yoga	100.00	110.00	125.00	25.00	100.00	50.00	75.00	75.00					660.00		0.00	
13	Harpole Village Show	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00					0.00		150.00	
14	Misc	13.34	12.55	11.35	0.00	0.00	0.00	0.00	1130.00					1167.24		2151.58	
15	Bank Interest	0.00	0.00	0.00	0.00	0.00	0.00	55.97	0.00					55.97		0.00	
16	Grant	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00					0.00		0.00	
17	Total Income	1384.67	1463.88	1407.68	85.00	1385.92	1341.33	1390.30	2776.33	0.00	0.00	0.00	0.00		11235.11		22507.29
18																	
19	Expenditure																
20	Wages	875.11	890.84	665.50	699.58	682.66	665.50	766.10	690.70					5935.99		6788.61	
21	HMRC	73.60	65.40	69.60	0.00	139.40	69.60	0.00	95.00					512.60		1068.26	
22	Gas/Electric	613.83	129.08	358.51	0.00	147.00	70.80	138.62	280.07					1737.91		6896.08	
23	TalkTalk / Gigaclear	36.00	36.00	72.00	0.00	36.00	36.00	136.00	36.00					388.00		475.00	
24	Maintenance	2187.87	1.35	0.00	386.92	0.00	0.00	25.00	0.00					2601.14		13386.80	
25	Water	55.00	55.00	120.00	0.00	60.00	60.00	60.00	60.00					470.00		653.00	
26	Subscriptions	93.65	0.00	0.00	0.00	0.00	0.00	0.00	0.00					93.65		776.73	
27	Cleaning materials	0.00	19.88	105.78	84.30	0.00	0.00	90.64	0.00					300.60		731.94	
28	Misc	0.00	0.00	31.20	333.57	0.00	0.00	0.00	0.00					364.77		283.99	
29	Stationary	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00					0.00		0.00	
30	WNC	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00					0.00		88.52	
31	Beesafe	0.00	0.00	400.47	600.00	0.00	0.00	0.00	0.00					1000.47		660.00	
32	Bin Cleaning	10.00	0.00	20.00	20.00	10.00	10.00	10.00	10.00					90.00		84.00	
33	Insurance	0.00	0.00	1473.22	0.00	0.00	0.00	0.00	0.00					1473.22		1355.00	
34	Printing	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00					0.00		0.00	
35	Personal Hygiene	0.00	0.00	0.00	0.00	336.77	104.45	0.00	0.00					441.22		101.40	
36																	
37		3945.06	1197.55	3316.28	2124.37	1411.83	1016.35	1226.36	1171.77	0.00	0.00	0.00	0.00				
38	Total Expenditure														15409.57		33349.33
39																	
40	Cash surplus/deficit	-2560.39	266.33	-1908.60	-2039.37	-25.91	324.98	163.94	1604.56	0.00	0.00	0.00	0.00		-4174.46		-10842.04
41																	
42	Reserve Balance	10191.57	10204.12	10215.47	10215.47	10215.47	10215.47	10271.44	10271.44						10271.44		10178.23
43	Bank Balances	15785.35	16039.13	14119.18	12079.81	12053.90	12378.88	12486.85	14091.41						14091.41		18359.08
44	Cash and Bank Balances	25976.92	26243.25	24334.65	22295.28	22269.37	22594.35	22758.29	24362.85	0.00	0.00	0.00	0.00		24362.85		28537.31
45																	
46	Retained Surplus Brought Forward	28537.31	25976.92	26243.25	24334.65	22295.28	22269.37	22594.35	22758.29						28537.31		39379.35
47	Retained Surplus/(deficit) for the year	-2560.39	266.33	-1908.60	-2039.37	-25.91	324.98	163.94	1604.56	0.00	0.00	0.00	0.00		-4174.46		-10842.04
48																	
49	Retained Surplus carried forward	25976.92	26243.25	24334.65	22295.28	22269.37	22594.35	22758.29	24362.85	0.00	0.00	0.00	0.00		24362.85		28537.31

Date	Details	Chq/DD	Bank	Cash	Admin wages	Cleaning wages	HMRC Tax & NI	Gas/Elect ric	Internet	Maintena nce	Water	Subscripti on	Kerstar / Cleaning	Misc	Stationar y	SNC Non Domestic Rates	Beesafe	Bin Cleanin g	Insurance	Printing	Personal Hygiene
------	---------	--------	------	------	-------------	----------------	---------------	---------------	----------	--------------	-------	---------------	--------------------	------	-------------	------------------------	---------	---------------	-----------	----------	------------------

0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------

0.00	0.00																					
0.00																						

Bank Reconciliation

Per records

Balance b/f

Payments

Receipts

0.00

0.00

Per statement

Check

0.00

0.00

Payments

Supplier	Activity	Amount	VAT
Unity Bank	Bank Fees	9.90	-
Paul Thomas	Parish Maintenance	528.07	-
R&G Groundworks	Grass Cutting	1,694.40	252.40
Nickolls Landscaping	Flagpole maintenance	100.00	-
Northants CALC	Subscription & Internal Audit	1,335.65	90.60
Shield Maintenance	Bin emptying	91.00	15.17
Scribe	Account set up	658.80	109.80
Old School Hall	Room hire	120.00	-
Benn Security	Allotment Keys	127.80	21.30
British Gas	Office Electric	68.43	3.26
Parish Online	Website hosting	396.00	77.00
Northants CALC	Training	117.60	19.60
Resident	Key deposit return	12.00	-
Gigaclear	Broadband	36.00	6.00
Scribe	Subscription	118.80	19.80
Tomato Energy	Street light electric	412.55	68.76
Staff Costs	May Costs	4,017.05	-
Metrobank	Credit card payment	310.98	-
ID mobile	Phone	6.00	1.00
Tomato Energy	Street light electric	7.90	0.38
R&G Groundworks	Grass Cutting	973.20	162.20
Rialtas	Subscription	30.49	5.08
Rialtas	Subscription	33.83	5.64
Viking	Stationery	30.43	5.07
Wave	Water	241.45	-
British Gas	Office Electric	68.43	3.73
Old School Hall	Room hire	80.00	-
Harpole Bowls Club	Room hire	50.00	-
Nickolls Landscaping	Flagpole maintenance	100.00	-
Frank Smethers	Microsoft subscription	286.56	-

Receipts

Supplier	Activity	Amount
West Northants Council	CIL	122,026.09
Various	Allotment rent	94.00
Metrobank	interest	1.42
CCLA	interest	3,276.84



Harpole Parish Council Grants Policy

1. Definitions

A grant is awarded for a particular defined purpose.

2. Power

The Council receives requests for grants from a variety of organisations and the aim of the Policy is to encourage and support activities and projects which will benefit the Parish of Harpole.

Section 137 of the Local Government Act 1972 places restrictions on Parish Councils when it comes to making grants to other organisations or bodies. One of those restrictions (paragraph 1 of Section 137) requires that such expenditure **".....is in the interests of, and will bring direct benefit to, their area or any part of it or all or some of its inhabitants"**

The normal use to which this power is applied by local Councils is to provide funding to local organisations, e.g. Pre-School Groups, Scout Groups, Senior Citizens Groups etc. but clearly, one of the most important restrictions (as underlined above) is that a grant cannot be made to an individual for their own use, no matter what use and how good a cause that use may be (e.g. sponsorship for studying exchanges).

However, there may indeed be occasions where the grant can be paid to an individual where that individual is carrying out a service which benefits the local population. E.g. A Community First Responder (a NHS trained volunteer) whose role is to be the first on the scene as the result of an emergency call within a designated

area (the Parish) to provide immediate life-saving support and who is required to raise funding to contribute towards the cost of the necessary equipment. It is clear that any grant made by the local Council will directly benefit recipients of the service and it is, therefore, our opinion that the grant can legally be given and the cheque made payable to the individual.

Section 137(4)(a) of the Local Government Act 1972 (the 1972 Act) for Parish Councils in England for 2023/24 is £9.93 per elector (£12,104.67 max)

Background

- a) Any grants made available for such purposes are funded directly from the Parish Precept
- b) The Parish Council receives no other significant monies at present from any source, (with the exception
- c) of grant monies received for particular projects and ring fenced for that purpose).
- d) The Custom and Practice of this Council has been to only consider requests for funding at its annual precept meeting. This policy formalises this process.



Harpole Parish Council Grants Policy

3. Policy

- a) Any grant made by the Parish Council must directly benefit the Parish of Harpole and its Parishioners.

The Parish Council cannot make donations to individuals unless the Community directly benefit. (Thus

the Parish Council cannot, for example, make a grant to a disaster appeal unless the disaster in some way affected the Parish or a substantial number of Parishioners.)

- b) Grants cannot be made to fund political activities.
- c) All proposed expenditure must be detailed in the Parish Council's annual budget meeting, to enable calculation of the Council's precept.
- d) The organisation making a grant request should be a non-profit making voluntary organisation where membership is open (i.e. no discrimination of membership on grounds of sex, race, religion etc.)
- e) The Parish Council will not fund events or activities which can be funded by the relevant participants or which can or will be self-supporting by means of donations, or grants from other organisations etc.
- f) The Parish Council will consider applications for funds in situations:
- where there is no other way of obtaining the relevant funds;
 - The funds will enable the relevant group or organisation to access or "unlock" funds or assistance from third parties; and
 - Monies have been donated or raised but these are insufficient and funds are needed to bridge the resulting gap.
- g) The Parish Council will endeavour to provide assistance and support where appropriate to groups and organisations in the Parish wishing to access grants and other funds from third parties and local authorities.

4. Applications

- a) All applications for grants or donations shall be made in writing to the Clerk to the Council who shall arrange for those applications which meet the Council's criteria to be considered at the next precept meeting of the Finance Committee of Council. Only one grant will be given to any group or organisation, or for any particular purpose, in any financial year (1st April to 31st March).
- b) Applications must complete the Council's application form.
- c) Applicants whose application meets the criteria will be considered at the next Precept Meeting - normally in November. Successful applicants shall provide details of to whom payment should be made and acknowledge receipt of the payment.

5. Conditions

- a) The Parish Council will assess applications with particular reference to the number of Parishioners



Harpole Parish Council Grants Policy

likely to benefit, or whether any particular category of Parishioners would receive specific benefit (e.g. children, the elderly, persons with any form of disability etc.)

- b) Where a request for a grant/donation is agreed, the Council shall determine the amount, using the figure stated by the applicant as a guide only.
- c) The grant or donations shall be used only for the stated purpose otherwise the monies shall be returned to the Council, except where the Council's prior written consent has been given for the funds to be used for another purpose.
- d) The Council may request that applicants provide written feedback explaining how the grant/donation
- e) has benefited their group/organisation. If feedback is required, this will be communicated in the decision letter.
- f) The Council reserves the right to request repayment of any grant/donation where an applicant does not
- g) comply with these conditions.

6. Notes

- a) The Council's decision on any application is final and there is no right of appeal.
- b) The Council reserves the right to decline any application without giving reasons for its decision.
- c) The Council will not commit to any continuing expenditure.
- d) Nothing in this Policy prevents the Council from providing a grant for donation to a group, organisation or project without application where the Council considers that the giving of such a grant or donation will bring benefits to residents of the Parish.
- e) Where a Member of the Council is a member of a group/organisation applying for funding, that Member must declare, in accordance with its Code of Conduct, an interest in the matter and refrain from voting. Advice may be sought from the Monitoring Officer.
- f) Council may, in exceptional circumstances, consider grants at any time of year up to £250.00.

Approved:

To be reviewed:

Harpole Parish Council Application for Grant / Donation for voluntary Organisations

(Local Government Act 1972, Section 137)

Please note that this application will not be considered unless it is accompanied by a copy of the latest set of



Harpole Parish Council Grants Policy

annual accounts showing the organisations income, expenditure and level of balances. If the organisation does not prepare annual accounts, copies of the bank statement covering the previous six months must be enclosed.

1	Name and address of Organisation	Harpole Old School Hall management committee, c/o The Old School Hall, School Lane, Harpole, Northampton, NN7 4DR.
2	Aims and objectives of the organisation	To keep the Old School Hall open & in a condition that protects this village asset going forward allowing anyone within the parish to hire it as required.
3	Name of Contact	Simon Drinkwater (treasurer).
4	Telephone number	07966 144119
5	Email Address	simon@magnusshoes.com
6	Is the organisation a registered charity? If so please state the charity number	Yes - 276588
7	Amount Requested:	£3,000
8	Should your request be successful please provide bank details	Account name: The Co-operative Bank Sort code: 08-92-99 Account number: 67359558
9	For what purpose or project is the grant / donation requested?	Purchase of anti-flood barrier door protection & replacement of close board fencing to eastern boundary.
10	How will success of the project be measured?	Prevention of future flooding & to repair damage from most recent storm.
11	What will be the total cost of the project?	Circa £3,000
12	If the total cost is more than the grant requested, how will you fund the remainder?	If it is any more than £3,000 we will fund it from reserves.
13	Have you applied for a grant for this project elsewhere? If yes, which organisation and how much?	No.
14	Who will benefit from the project?	All users / renters of the Old School Hall & prevention of another flood will allow us to continue to offer the rental of the hall out without any downtime.
15	Approximately how many of those that will benefit are	There are only two main users of the Old School Hall – The pre-school and the Parish Council – the pre-school employ a lot of



Harpole Parish Council Grants Policy

	parishioners of Harpole?	Harpole based staff and provide pre-school education for Harpole based children & the Parish Council is l'd say also mainly Harpole based people – so on the whole all local users that benefit.
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You may use a separate sheet of paper to submit any other information you feel would support this application.

Supporting Our Community	Proposed Action	Effect
Support for voluntary groups etc.	<ul style="list-style-type: none"> • Advertise Grant Aid schemes • Work with organisations to publicise activities and events • Work with bowls club on lease arrangements 	Proactive use of noticeboards, website, social media, meetings etc.
Review the provision of street furniture	<ul style="list-style-type: none"> • Review adequacy and location of bins/dog bins/benches/noticeboards • Budget for replacements where necessary • Organise/support litter picks 	Budget implications Rolling replacement programme for seats/benches
Protect trees & open spaces.	<ul style="list-style-type: none"> • Ensure all significant trees are recorded and, where appropriate, have TPO's in place • Undertake surveys of trees on land we own and maintain as needed 	Councillors & Officers to be proactive
Liaise with Police on reducing crime within the Parish.	<ul style="list-style-type: none"> • Consider contributing to costs of a PCSO for Harpole and/or in conjunction with neighbouring parishes • Invite local officers to council meetings 	Enhance awareness/perception of security.
Manage the allotments as a community asset	<ul style="list-style-type: none"> • Determine the arrangements for management by the Parish Council • Access any future funding available through s106 agreements 	To have well managed and maintained allotment site.
Future Allotment provision	<ul style="list-style-type: none"> • To access s106 funding for allotment provision to enhance the existing site or to provide a further site 	To continue to meet local need.

<p>Improve efficiency and work towards reducing our carbon footprint</p>	<ul style="list-style-type: none"> • Continue to take responsibility for lights on new developments and operate efficiently • Consider green energy supplier 	<p>Reduce energy usage, costs and carbon footprint Budget implications in medium term.</p>
<p>Promote health & well-being.</p>	<ul style="list-style-type: none"> • Encourage walking, cycling & the importance of open green space 	<p>Councillors & Officers to be proactive</p>

Welcome new residents to the parish	<ul style="list-style-type: none"> • Prepare welcome packs for distribution via Sales Offices and to all new residents 	To foster community spirit within the parish.
Planning	<ul style="list-style-type: none"> • Respond to consultations in the best interests of our residents. • Continue to engage in WNC Joint Core Strategy consultations 	Maintain a community that we all want to live in.
Neighbourhood Plan	<ul style="list-style-type: none"> • Review in 2025/6 in line with new Planning legislation and New Local Plan 	To maintain status of 'made' plan
Playing Fields	<ul style="list-style-type: none"> • To work with playing field committee / Charity Commission to transfer land to the parish council 	To enable sport for all in the village
New Pavilion and sports pitches	<ul style="list-style-type: none"> • To work with developer to ensure best build possible and fittings are fit for purpose. 	To provide a facility for the community.
Community Facilities	<ul style="list-style-type: none"> • To work with developers in early stages of designing community facilities on new developments 	To provide a facility that is beneficial to the community and their needs.
CIL Projects	<ul style="list-style-type: none"> • To find and provide CIL projects that CIL Funding can be used on 	To improve parish facilities
Street Lighting	<ul style="list-style-type: none"> • To review street lighting and consider new posts when appropriate 	To ensure parish is safe for all

Securing Our Future	Proposed Action	Effect
Securing open space in new developments	<ul style="list-style-type: none"> • Work with appointed Solicitor • Continue liaising with WNC/ Developers 	Ensure all open spaces are in PC ownership
Determine future management arrangements for open space	<ul style="list-style-type: none"> • Consider options and cost implications • Consider break clauses in any contracts 	Secure long-term viability
Sports facilities - work with users to determine appropriate level of provision.	<ul style="list-style-type: none"> • Contact with potential users • Set up Working Party/Project Team 	Secure long-term viability
Determine future management arrangements for sports provision	<ul style="list-style-type: none"> • Determine options and most appropriate provision • Consider break clauses in any contracts 	Secure long-term viability
Community buildings/ village Hall - Determine future management arrangements for community buildings	<ul style="list-style-type: none"> • Consider options via SWOT and cost benefit analysis • Consider break clauses in any contracts 	Secure long-term viability
Encourage all local volunteer organisations.	<ul style="list-style-type: none"> • Offer opportunity to advertise on parish website • Support through grant opportunities 	Budget/time implications
Work with organisers of events to try to bring the whole community together.	<ul style="list-style-type: none"> • Annual organised Parish Council event?? 	Budget/time implications
Involve the community in all parish council initiatives.	<ul style="list-style-type: none"> • Involve and consult the community • Be open and accessible to the community 	Councillors & Officers to be proactive
Strengthen relationships with education providers within the Parish	<ul style="list-style-type: none"> • Work co-operatively with providers on new and existing provision. 	Ensure education provision within the parish is well supported
Working towards adequate burial space	<ul style="list-style-type: none"> • Liaise with PCC and Peterborough Diocese • Consult the parish on options 	Secure future burial provision for all of the parish.
Looking for potential land that the council could purchase	<ul style="list-style-type: none"> • To consider working with landowners to see if there is land available for the parish council to purchase for use 	To secure land that could be used for burial / community facilities / parks etc

	by the community	
Finances for future	<ul style="list-style-type: none"> • Ensure all S106 monies due to the council come to the PC in a timely manner • Investment and management of S106 funding 	To ensure financial security of future councils with extra assets being received.